

CITY OF OVERLAND PARK PLANNING AND DEVELOPMENT SERVICES

INTRACITY COMMUNICATION

December 19, 2019

Rhonda Clark – SPS

**SUBDIVISION NAME – WATERSEDGE 8TH PLAT  
PIP2018-00016**

***NOTE: Building Permits will not be issued until the applicant produces a Sanitary Sewer Connection Permit from Johnson County Wastewater.***

***NOTE: Lot 202 is on hold until a revised as-built plan showing spillway elevations, revised ROW elevation at Station 170+50, and dam certification are provided and approved. This hold has been removed 2-17-2020***

**SWALE GRADING**

The following lots include, or are adjacent to engineered swales designed for purposes of stormwater conveyance. An engineered plot plan is required for these lots in conformance with City requirements.

Minimum Low Openings must be a minimum of 1 foot above the 100-year storm energy grade line as measured perpendicular to the swale.

<b><u>LOT</u></b>	<b><u>SWALE</u></b>	<b><u>EGL DEPTH (FEET)</u></b>
194	G-G	0.36
195	G-G	0.36
200	F-F	1.08
201	F-F	1.08
202	F-F	1.08
206	D-D	0.85
207	C-C	0.88
208	C-C	0.88
209	C-C	0.88
210	B-B	0.83
211	B-B	0.83
212	B-B	0.83
213	B-B	0.83
223	A-A	0.61
224	A-A	0.61

225	A-A	0.61
226	A-A	0.61

### **BERM GRADING**

The following lots include berms designed to direct stormwater runoff. An engineered plot plan is required for these lots that show preserving or constructing berms as shown on the subdivision as-built grading plan.

#### **LOT**

203  
206  
209  
211  
214  
223

### **MLO SET BY ENGINEER**

The following lots are adjacent to large open stormwater conveyances which require freeboard for all building openings and tops of foundation walls. An engineered plot plan is required for these lots which show the minimum low opening established on the subdivision as-built grading plan and actual proposed building openings and top of foundation wall elevations.

#### **LOT**

#### **MLO (All Building Openings)**

194	894.2
195	894.2
196	894.2
203	906.1 (weir)

## **LOT GRADING**

The following lots require specific grading to ensure proper drainage paths between lots. An engineered plot plan is required for these lots which show the drainage paths based upon grading specified by the Engineer.

### **Lot**

197  
198  
203  
204  
206  
207  
225  
226

If you have any questions, please contact me.

Stephanie Byard  
Planning Technician II

c: Tim Tucker, Phelps Engineering - Design Engineer  
Tony Meyers, P.E - Engineering Services Review Engineer  
Brandon Melius, Inspector  
Watersedge Development, LLC - Developer  
Jeff Hunt, Public Works Maintenance  
Irina Idelson, Public Works Senior Engineering Technician  
Permit Services  
Subdivision Flood File  
City website



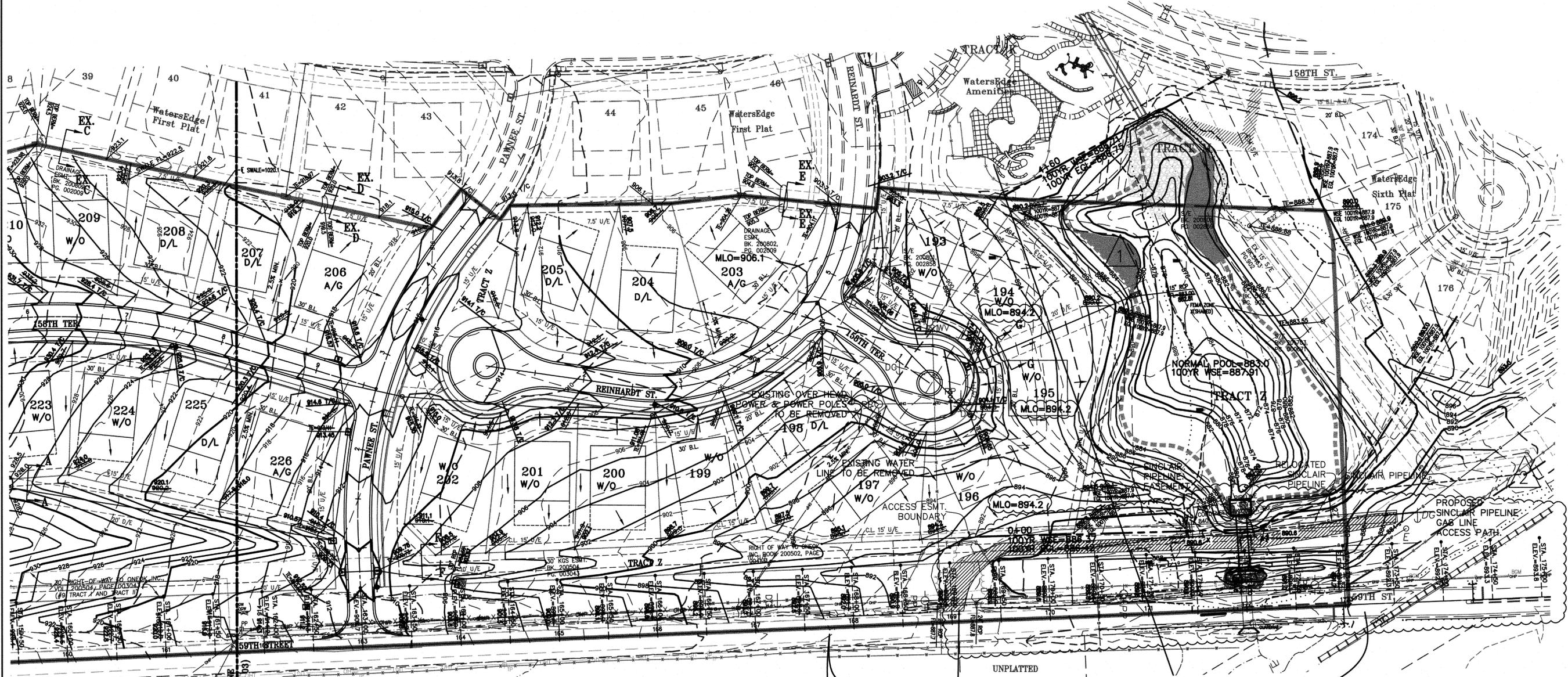


**PHILIPS ENGINEERING, INC.**  
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 Olathe, Kansas 66061  
 (913) 393-1155  
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 www.philipsengineering.com

PLANNING  
 ENGINEERING  
 IMPLEMENTATION



**GRADING PLAN**  
**WATEREDGE, EIGHTH PLAT**  
 OVERLAND PARK, KANSAS  
 PIP2018-00016



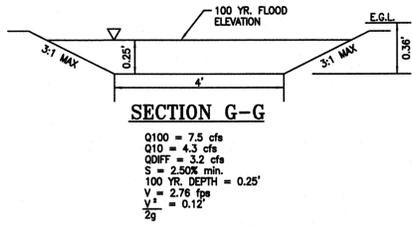
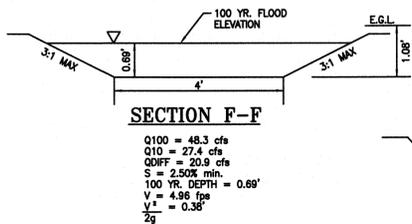
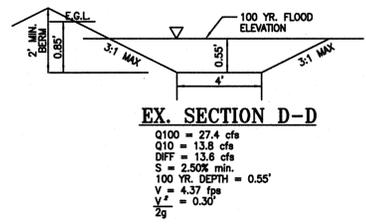
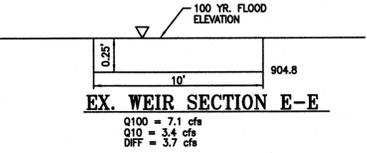
MATCH LINE  
 (SEE SHEET 163)

CONSTRUCT SAFE SHOULDER & MATCH FUTURE R/W GRADES, NO PAVEMENT WIDENING REQUIRED.

CONTRACTOR TO MAINTAIN THE MAINTENANCE AND ACCESS PATH FOR THE SINCLAIR PIPELINE. REMOVE & REPLACE FENCE AS NECESSARY.

USE IN PLACE EX. GAURD RAIL. NO SAFE SHOULDER REQUIRED. MATCH FUTURE R/W GRADES FROM STA. 168+00 TO STA. 168+50

ACCESS NOTE:  
 ACCESS EASEMENT FOR SINCLAIR PIPELINE HAS BEEN GRANTED FOR FACILITIES TO BE MAINTAINED AFTER THE SUBDIVISION IS BUILT



**"AS-BUILT"**

DATED: 1/29/20 BY: JAZ



- LEGEND**
- 1078 FINISHED PROPOSED CONTOUR
  - - - 1078 CONCEPTUAL FUTURE CONTOUR
  - - - 1078 EXISTING CONTOUR
  - TRM TRIM
  - LOI LINES
  - A/G AT GRADE FOUNDATION
  - D/L DAYLIGHT FOUNDATION
  - W/O WALKOUT FOUNDATION
  - F/WO FORCED WALKOUT FOUNDATION(8% DRIVE)



Know what's below.  
 Call before you dig.

UTILITY NOTES:  
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES.

NOTE:  
 "AS-BUILT" GRADING PLANS MUST BE SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.

JO. CO. BENCHMARK #367-ELEV.=887.84  
 2" DOME TOP ALUMINUM MONUMENT, 0.1 MILE EAST OF INTERSECTION OF 159TH STREET AND KENNETH ROAD TO NORTHEAST CORNER OF CONCRETE BRIDGE OVER BLUE RIVER, MONUMENT IN NORTHEAST ABUTMENT OF BRIDGE. VERTICAL DATUM-NAVD88

FLOOD NOTE:  
 A PORTION OF THIS PROPERTY LIES WITHIN ZONE AE, DEFINED AS SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.

THE REMAINDER OF THE PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF OVERLAND PARK, COMMUNITY NO. 200174, JOHNSON COUNTY, KANSAS, MAP NO. 2009IC01156, AND DATED AUGUST 3, 2009.

**EMERGENCY SPILLWAY A-A**

Q100 = 794.91 cfs  
 Q100+0.12(Pave - P100) = 998.78 cfs  
 Q100+0.4(Pave - P100) = 1,975.75 cfs  
 TR=50 SIGNIFICANT DAM CLASS

ENGINEERING SERVICES DIVISION  
 Planning and Development Services Department  
 City of Overland Park, Kansas  
 Date: 2/17/2020  
 Reviewed By: STS  
 APPROVED  REJECTED

PROJECT NO.	DATE	BY	REVISIONS
160021	11/27/18	JAZ	GRADING & STORM LINE 5 REVISED
	11/27/18	JAZ	REVISED ACCESS PATH AND GRADING
	3-15-19	JAZ	REVISED ACCESS PATH AND GRADING